

50000 1247 4939

FINAL CODE COMPLIANCE CERTIFICATE

Issued by
BUILDING CONTROL INSPECTION SERVICES
CHRISTCHURCH CITY COUNCIL

BUILDING CONSENT No.

10007783

Project Location**Street Address:** 67 TUCKERS ROAD, NORTHCOTE, CHRISTCHURCH 8005**Legal description:** LOT 1 DP 27016**Project Particulars**

THIS CERTIFICATION IS FOR :

New Construction

THE INTENDED USE(S) FOR THIS BUILDING WORK IS FOR:

Garage

PROPOSED WORK DETAILS:

GARAGE

The intended life of this building work is indefinite but not less than 50 years.

This certificate is issued under Section 43 clause (3) of the Building Act 1991 and is a Final Code Compliance issued in respect of all work under the above Building Consent.

Signed for and on behalf of the Christchurch City Council:

Date of Issue: 24/01/2001


Name:

Position: Building Inspection Coordinator



CHRISTCHURCH
CITY COUNCIL · ENVIRONMENT

Environmental Services Unit

 CHRISTCHURCH CITY COUNCIL - ENVIRONMENT	<h1>CHRISTCHURCH CITY COUNCIL</h1> <h2>BUILDING INSPECTION SERVICES</h2>	PROJECT NO: 10007783
	Site Address: <u>67 TUCKERS ROAD</u> Description of Consent: <u>GARAGE</u>	

Prepour Foundation	M1	Preline Plumbing	M4B	Pre Stopping	M7	Final (Comm/Ind)	M8
Siting/Levels/Bearing		Pipe Type/Sizing		Brace Element Fixings		BA9 Received	
Ground Condition		Water Isolation Valve		Fire Lining Fixings		Car Parking Marked	
Reinforcing/Slab Ties		Lagging/Pressure Test		Final (Residential)	M8	Downpipe/Rainhead	
Eng./Soil Reports		Anti-scald, fitted		BA9 Received		Gully Trap/T.Vent	
Sub-floor Drainage	M1A	Soil Pipes/Vents		Wall Cladding/Cert.		Trade Waste	
A.S.3500/Drainage		Fire Resistant Lining	M5	Downpipes/Flashings		Glass/Safety/Visibility	
Overflow Relief		Penetration/Connection		Roof Tank/HWC Restrnt		Barriers/Stair/Rails	
Prepour Slab	M2	Concrete Construction	S1	Anti Scald Protection		Anti-scald, Provided	
Tailings/DPM		Reinforcing/Eng. Repts		Gully Dish /Waste Pipes		Ventilation (HVAC)	
Mesh		Blockwork Constr.	S2	Main Vent/AAV		Fire Resistant Rating	
Wastes		Reinforcing/cleanouts		Surface Water Sumps		Fire Alarm Type	
Sub Floor	M3	Steel Construction	S3	Submersed Outlets		Egress/Signage	
Pile Connections		Size/connections		HWC/Valves		Surface Water Sumps	
Bearers/Joists/Treatment		Solid Plaster System	S5	Barriers/Stair/Rails		Accessible Facilities	
Sub Ventilation		Substrate/Contrl/Flash		Stairs/Treads/Risers		" Route	
Sub Insulation		Brick / Shelf Angle	S6	Ventilation of Spaces		" Toilet	
Preline Building	M4A	Connections		Ceiling Insulation		" Grab Rails	
M/C - walls/ceilings %		1/2 High Brick Insp.	S8	Fire Resistant Rating		" Hardware	
Plate/Truss Fixings		Cavity/Expansion		Glazing/Safety		" Carpark/Signage	
Framing/Grade		Drainage	M6	Access Routes/Non-slip		Producer Statements	
Bracing/Roof and Walls		Bedding/Cover		Retaining Wall/Drainage		Structural ()	
Floor Joist Layout		Inspection/M.V.		Swimming Pool/Fence		As Built Drainage Plan	
Lintels		F/W→Approved Outfall		Solid Fuel Heater		HVAC	
Insulation Walls		S/W→Approved Outfall		Landscaping (Y/N)		Fire Alarm Installer	
Insulation Ceilings		Main Vent Position		Hard Standing levels		F.P.I.S.	
Roof Cladding		Grade/Water Test				Fire Engineer	
Eng. Verification		Pick-up Completed				Emergency Lighting	

Comments

STORM WATER DOWN PIPES
DISCHARGE INTO DRAINAGE
SYSTEM.
PROJECT COMPLETED - A CODE
COMPLIANCE CERTIFICATE CAN BE
ISSUED

Pressurisation/Extraction

Sprinklers

Back Flow

Lift

Electrical Certificate

Gas Certificate

Reconciliation of Inspection


Estimate

Actual

Refund/Debit

Builder:	Plumber:	Drainlayer:	Gas Fitter:
All work inspected is in accordance with the Building Consent. <i>✓✓</i> Some work is not satisfactory as detailed above and rectification is required.			Inspection Type <i>M8 FINAL</i>
Signed: <i>[Signature]</i> Date: <i>18.7.01</i>			Rectification time frame/...../.....
PROJECT COMPLETE SIGNED <i>[Signature]</i> DATE <i>28.11.01</i>			Key R = Rectification Required ✓ = Approved

SITE INSPECTION REPORT**This is not a Code Compliance Certificate**

 <p>CHRISTCHURCH THE GARDEN CITY <i>The city that shines</i></p>	<h1 style="margin: 0;">CHRISTCHURCH CITY COUNCIL</h1> <h2 style="margin: 0;">BUILDING CONTROL INSPECTION SERVICES</h2>	<p>PROJECT NO:</p> <p style="text-align: center; font-size: 1.2em;">10007783</p>
<p>Site Address: <u>67 Tuckers Rd</u></p> <p>Description of Consent: <u>Garage</u></p>		

Prepour Foundation	M1	Preline Plumbing	M4B	Final (Residential)	M8	Final (Comm/Ind)	M8
Siting/Levels/Bearing	✓	Pipe Type/Sizing		BA9 Received		BA9 Received	
Ground Condition	✓	Water Isolation Valve		Wall Cladding/Cert.		Car Parking Marked	
Reinforcing/Slab Ties	✓	Lagging		Downpipes/Flashings		Downpipe/Rainhead	
Eng. Verification	✓	Water Test		Roof Tank/HWC Restrnt		Gully Trap/T.Vent	
Sub-floor Drainage	M1A	Anti-scald, fitted		Anti Scald Protection		Trade Waste	
A.S.3500/Drainage		Soil Pipes/Vents		Gully Dish (Heights)		Glass/Safety/Visibility	
Prepour Slab	M2	Fire Resistant Lining	M5	Waste Pipes Sealed		Disabled Facilities	
Tailings		Penetration/Connection		Backflow Prevention		" Thresholds	
DPM		Blockwork Constr.	S2	Main Vent/AAV		" Toilet	
Mesh		Reinforcing		Surface Water Sumps		" Accessway	
Wastes		Solid Plaster System	S5	Submersed Outlets		" Car Parking	
Sub Floor	M3	Substrate OK		HWC/Valves		" Signage	
Pile Footings		Control Joints		Barriers/Stair/Rails		Barriers/Stair/Rails	
Bearers/Joists		Brick / Shelf Angle	S6	Stairs/Treads/Risers		Anti-scald, fitted	
Sub Ventilation		Connections		Ventilation of Spaces		Ventilation (HVAC)	
Sub Insulation		Drainage	M6	Ceiling Insulation		Fire Resistant Rating	
Preline Building	M4A	Bedding Under Pipes		Fire Resistant Rating		Fire Alarm Systems	
Moisture Walls	%	Inspection Points		Glazing/Safety		Egress/Signage	
" Ceilings	%	F/W→Approved Outfall		Access Routes		Surface Water Sumps	
Plate/Truss Fixings		S/W→Approved Outfall		Non Slip Areas		Producer Statements	
Framing/Ceiling		Main Vent Position		Retaining Wall/Drainage		Structural	
Bracing/Roof and Walls		Adequate Cover		Swimming Pool/Fence		As Built Drainage Plan	
Floor Joist Layout		Grade		Solid Fuel Heater		HVAC	
Garage Lintels etc		Water Test		Producer Statements		Fire Alarm Installer	
Insulation Walls		Pick-up Completed		Structural		FPIS	
Insulation Ceilings		Pre Stopping	M7	As Built Drainage Plan		Fire Engineer	
Roof Cladding		Brace Element Fixings		Drainlayer		Builder	
Eng. Verification		Fire Lining Fixings		Plumber		Gas Fitter	

Inspection Comments

Good ok - ok to Pass

DFM

Instruction to Owner/Owner's Agent

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory as detailed above and rectification is required.

A formal notice to rectify will be issued.

Inspection Type

Rectification
time frame
as agreed

Signed: Michael Leary

Date: 17/10/22

Sig:

SITE INSPECTION REPORT

Time on Site

This is not a Code Compliance Certificate

SECTION 6

☒ **Builder's Name:** Versatile Buildings Phone: 3488704
Address: Box 11-336 Sockburn Fax: 3489093

☐ **Building Certifier's Name:** _____ Phone: _____
Address: _____ Fax: _____

☐ **Plumber's Name:** _____ Phone: _____
Address: _____ Fax: _____

☒ **Drainlayer's Name:** to be advised Phone: _____
Address: by owner Fax: _____

☐ **Engineer's Name:** _____ Phone: _____
Address: _____ Fax: _____

☒ **Designer's Name:** as above Phone: _____
Address: _____ Fax: _____

	YES / NO / NA	YES / NO / NA	YES / NO / NA
Have you fully completed:			
Section 1	<input checked="" type="checkbox"/> Yes	Section 4	<input checked="" type="checkbox"/> N/A
Section 2	<input checked="" type="checkbox"/> Yes	Section 5	<input checked="" type="checkbox"/> N/A
Section 3	<input checked="" type="checkbox"/> Yes	Section 5A	<input checked="" type="checkbox"/> N/A

- IF THIS PROJECT CONSTITUTES A DEVELOPMENT PURSUANT TO SECTION 409 OF THE RESOURCE MANAGEMENT ACT 1991, THEN THIS APPLICATION IS ALSO DEEMED TO BE A NOTIFICATION BY THE OWNER OF A RESOURCE CONSENT APPLICATION FOR A DEVELOPMENT.
- Please note this application may not be processed further until any outstanding items have been submitted. Completion of this check sheet is not approval to start work.
- No work is to commence until the Building Consent is uplifted.
- Building Consent Fees**
 The charges incurred by the Council in processing this application are payable whether or not the project proceeds. Note: Fees for some minor works (eg drainage only works, detached accessory buildings with a value of less than \$5,000) are required to be paid at the time of application.
- I DECLARE I HAVE BEEN AUTHORISED BY THE OWNER TO MAKE THIS APPLICATION**

Print Name: Peter McDermid **Date:** 30/8/00

Signature: _____

SIGNED BY or FOR AND ON BEHALF OF THE OWNER


Project Information Memorandums (PIMs) and Building Consents can be lodged and uplifted at the following centres, where there are Building Information Officers available to assist you.

Civic Offices 163-173 Tuam Street PO Box 237 Telephone 371 1995 Fax 371 1792	Linwood Service Centre 180 Smith Street PO Box 24 214 Telephone 389 1477 Fax 372 2639	Sockburn Service Centre 149 Main South Road PO Box 11 011 Telephone 348 5119 Fax 372 2539
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Project Information Memorandums (PIMs) and Building Consents can also be lodged and uplifted at these Service Centres.

Beckenham Service Centre 66 Colombo Street PO Box 12-033 Telephone 332 3099 Fax 332-3443	Fendalton Service Centre Cnr Jeffreys & Clyde Roads PO 29183 Telephone 351 7109 Fax 372 2748	Papanui Service Centre Cnr Langdons Rd & Restell St PO Box 5142 Telephone 352 8117 Fax 352 1308	Shirley Service Centre 36 Marshland Road PO Box 27 043 Telephone 385 3079 Fax 385 4224
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All the relevant information on this form is required to be provided under the Building Act and Resource Management Act for the Environmental Services Unit to process your application. Under these Acts this information has to be made available to members of the public including business organisations. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council which can be readily retrieved. You can also request that the Council correct any personal information it holds about you.

 CHRISTCHURCH CITY COUNCIL CITY COUNCIL - ENVIRONMENT	CHRISTCHURCH CITY COUNCIL APPLICATION FOR BUILDING CONSENT	FORM: BA3 PROJECT NO: <u>10007783</u>
	PLEASE COMPLETE ALL SECTIONS OF THIS FORM (IF APPLICABLE TO YOUR APPLICATION)	

Has a Project Information Memorandum been issued for this project? ☒ No ☐ Yes ⇒ Project No.: _____

APPLICATION DETAILS [<u>3036382</u>]	PROJECT DETAILS [<u>780609</u>]
OWNER (as defined by the Building Act 1991) Full Name(s): _____ <u>Mr + Mrs J. Downey</u> Street Address: <u>67 Tuckers Rd</u> Mailing Address: <u>Christchurch</u> Phone: <u>3526245</u> Fax: _____	LOCATION Street Address: _____ <u>67 Tuckers Road</u> Lot: <u>1</u> DP: <u>27016</u> Other: <u>B/s pt 291</u>
APPLICANT (Must be authorised by the owner to make this application) Name: <u>Peter McDermid</u> Company: <u>Versatile Buildings</u> Mailing Address: <u>Box 11-336</u> Street Address: <u>Sockburn</u> Phone: <u>3488704</u> Fax: <u>3489093</u>	DESCRIPTION OF WORK: _____ <u>erect garage</u>
Estimated Value of proposed work (inclusive of GST): \$ <u>6000</u> Building Consent to be uplifted from: <u>Sockburn</u> Service Centre <input checked="" type="checkbox"/> If prepaid post to Owner / Applicant (delete one)	INTENDED USE: <u>private</u> Will the building undergo a change of use? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Intended Life if less than 50 years: _____ years Being stage _____ of an intended _____ stages
Water Supply Is a new supply required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Residential / Commercial (DELETE ONE) If commercial, has estimate been obtained from the Council? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Distance from LH / RH boundary (looking from street) _____ metres Nominate street if a corner site: _____	FLOOR AREA Ground Floor: Existing <u>90</u> m ² Add _____ m ² Other Floor: Existing _____ m ² Add _____ m ² Accessory Building Area: Existing <u>20</u> m ² Add <u>36</u> m ²
Road Opening / Footpath Opening Is an opening required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Select type of service: Sewer / Stormwater	Planning - Site Coverage Total area of all buildings over foundation at ground level. Existing <u>110</u> m ² Proposed <u>36</u> m ²
Vehicle Crossing (in relation to this Building Consent) Is a vehicle crossing required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Select: New / Extension / Residential / Commercial	

FOR COUNCIL USE ONLY

Prepaid Fee: \$ _____

Receipt No: _____

Receiving Officer's Name: _____

Date Received: _____

Block Plan ☒ Full PIM ☐ N/A ☐

Date Requested 5/9/00

HAZARDS: _____

SECTION 1

Have you provided the following information?

Please tick the appropriate box

SECTION 2	Yes	No	N/A
• Site Plan: Fully dimensioned, scaled, showing all buildings & easements (proposed/existing)	<input checked="" type="checkbox"/>		
• Certificate of Title: Recent search copy of (less than 6 months old)	<input checked="" type="checkbox"/>		
• Plans & specification of an acceptable standard	<input checked="" type="checkbox"/>		
• Plans, elevations, cross sections of the proposal in triplicate (in duplicate if PIM issued)	<input checked="" type="checkbox"/>		
• Recession planes (including to internal boundaries) indicated			<input checked="" type="checkbox"/>
• Site levels relating to top of roadside kerb, and finished floor level indicated			<input checked="" type="checkbox"/>
• Hill sites: indicate contours, drive gradients and building heights			<input checked="" type="checkbox"/>
• Site boundaries nominated	<input checked="" type="checkbox"/>		
• Shared access ways/other areas			<input checked="" type="checkbox"/>
• Foulwater drains			<input checked="" type="checkbox"/>
• Stormwater drains	<input checked="" type="checkbox"/>		
• Stormwater discharge for hardstanding areas detailed to an approved outfall			<input checked="" type="checkbox"/>
• Water Service Details			<input checked="" type="checkbox"/>
• Vehicle crossing position indicated on site plan	<input checked="" type="checkbox"/>		
• Vehicle access manoeuvre and parking area indicated	<input checked="" type="checkbox"/>		
• Street trees, poles, sumps, manholes, traffic islands affecting vehicle access			<input checked="" type="checkbox"/>
• Site area per unit indicated			<input checked="" type="checkbox"/>
• Site coverage: % details			<input checked="" type="checkbox"/>
• Living and service courts indicated			<input checked="" type="checkbox"/>
• Landscaped area indicated and planting plan produced			<input checked="" type="checkbox"/>
• Demolition Details			<input checked="" type="checkbox"/>
• Swimming pool: design, fence and discharge			<input checked="" type="checkbox"/>
• Backflow prevention			<input checked="" type="checkbox"/>
• Waterway setbacks indicated			<input checked="" type="checkbox"/>
• Notable and protected site trees indicated			<input checked="" type="checkbox"/>
• Heritage site or building affected?			<input checked="" type="checkbox"/>
• Resource Consent Application			<input checked="" type="checkbox"/>
• Development Application			<input checked="" type="checkbox"/>
• Subdivision details			<input checked="" type="checkbox"/>

SECTION 3	Yes	No	N/A
• Structural drawings			<input checked="" type="checkbox"/>
• Foundation design and report on ground conditions			<input checked="" type="checkbox"/>
• Blockwork: design including foundations			<input checked="" type="checkbox"/>
• Retaining walls: design heights, position, sub soil drainage and safety barriers			<input checked="" type="checkbox"/>
• Fire partitions: dividing walls, common walls			<input checked="" type="checkbox"/>
• Window positions & opening windows indicated	<input checked="" type="checkbox"/>		
• Safety glass provisions specified			<input checked="" type="checkbox"/>
• Thermal insulation and R value indicated			<input checked="" type="checkbox"/>
• Sound insulation indicated			<input checked="" type="checkbox"/>
• Stairs/steps/landings/balconies: dimensions, handrail and barrier details			<input checked="" type="checkbox"/>
• Solid fuel heater: make, model and location			<input checked="" type="checkbox"/>
• Accurate layout & details of plumbing systems			<input checked="" type="checkbox"/>
• Alternative Solutions details			<input checked="" type="checkbox"/>
• Access and facilities for people with disabilities			<input checked="" type="checkbox"/>
• Access Route Details			<input checked="" type="checkbox"/>
• Dangerous goods: storage and sign details			<input checked="" type="checkbox"/>
• Gas bottle: storage location and capacity if over 10kg			<input checked="" type="checkbox"/>
• Soakpit, septic tank and pumping station design details.			<input checked="" type="checkbox"/>
• Earthworks: Identify proposed cut or fill where more than 10 m ³ of soil is being moved			<input checked="" type="checkbox"/>
• Specifications in duplicate	<input checked="" type="checkbox"/>		
• Pegging certificate for two or more units on site			<input checked="" type="checkbox"/>
• Bracing calculations and layout	<input checked="" type="checkbox"/>		
• Roof truss design statement and layout	<input checked="" type="checkbox"/>		
• Producer statement: Specific design details for work outside the scope of NZS 3604 & NZS 4229	<input checked="" type="checkbox"/>		
• BA20 form (Producer Statement information)			<input checked="" type="checkbox"/>
• Fire Safety Summary or Fire Design Statement			<input checked="" type="checkbox"/>
• Compliance Schedule details			<input checked="" type="checkbox"/>

The information offered in this section is to assist the Council in the review process, including the assessment of the number of inspections. Statements offered by the applicant will be used as a guide rather than a commitment.

- Is the project to be erected in stages? ☐ Yes ☐ No

If yes briefly describe your proposed programme: _____

- Estimated start date: _____ (please note building work must be started within 6 months of Consent issue date)

- Estimated finish date: _____

- Is a registered engineer involved?

For design ☐ Yes ☐ No

For Inspection ☐ Yes ☐ No

- Is a Producer Statement to be offered?

Producer Statement: Design ☐ Yes ☐ No

Producer Statement: Inspection ☐ Yes ☐ No

- Is a registered master builder involved in the project? ☐ Yes ☐ No

Name (optional)

COMPLETE THIS SECTION FOR ALL NEW BUILDINGS AND ALTERATIONS, EXCEPT SINGLE RESIDENTIAL DWELLINGS

Please tick the relevant boxes to show which systems are included or to be included in the building project

	EXTG	NEW
(a) Automatic sprinkler systems or other systems of automatic fire protection	<input type="checkbox"/>	<input type="checkbox"/>
(b) Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire	<input type="checkbox"/>	<input type="checkbox"/>
(c) Emergency warning systems for fire or other dangers	<input type="checkbox"/>	<input type="checkbox"/>
(d) Emergency lighting systems	<input type="checkbox"/>	<input type="checkbox"/>
(e) Escape route pressurisation systems	<input type="checkbox"/>	<input type="checkbox"/>
(f) Riser mains for fire service use	<input type="checkbox"/>	<input type="checkbox"/>
(g) Any automatic backflow preventer connected to a potable water supply	<input type="checkbox"/>	<input type="checkbox"/>
(h) Lifts, escalators, or travelators or other similar systems	<input type="checkbox"/>	<input type="checkbox"/>
(i) Mechanical ventilation or air conditioning system serving all or a major part of the building	<input type="checkbox"/>	<input type="checkbox"/>
(j) Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code	<input type="checkbox"/>	<input type="checkbox"/>
(k) Building maintenance units for providing access to the exterior and interior walls of buildings	<input type="checkbox"/>	<input type="checkbox"/>
(l) Such signs as are required by the building code in respect of the above mentioned systems	<input type="checkbox"/>	<input type="checkbox"/>
NONE OF THE ABOVE		<input type="checkbox"/>

COMPLETE THIS SECTION ONLY IF THE BUILDING CONTAINS OR WILL CONTAIN ANY OF THE SYSTEMS IN SECTION 5

	EXTG	NEW
(m) Means of escape from fire	<input type="checkbox"/>	<input type="checkbox"/>
(n) Safety barriers	<input type="checkbox"/>	<input type="checkbox"/>
(o) Means of access and facilities for use by persons with disabilities which meet the requirements of section 47a of the Building Act 1991	<input type="checkbox"/>	<input type="checkbox"/>
(p) Handheld hoses for fire fighting	<input type="checkbox"/>	<input type="checkbox"/>
(q) Such signs as are required by the building code or section 47a of the Building Act 1991	<input type="checkbox"/>	<input type="checkbox"/>

SECTION 4

SECTION 5

SECTION 5A

30/08/2000 17:11 64 3 3541005
30/08/2000 17:21 64-3-3541005

JOHN DOWNEY

PAGE 02

References
prior C/T. 76/250

Land and Deeds 69

Transfer No. -
W/C. Order No. 769194



CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 30th day of June one thousand nine hundred and sixty-nine under the seal of the District Land Registrar of the Land Registration District of Canterbury
WITNESSETH that HAYDN ARTHUR JAMES ALDRIDGE of Christchurch Council Employee

seised of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, the several admeasurements a little more or less, that is to say: All that parcel of land containing 24 perches or thereabouts situated in Block VII of the Christchurch Survey District being Lot 1 on Deposited Plan 27016 of Rural Section 291



Assistant Land Registrar

subject to:

Caveat 763275 in the Chairmen, Councillors and Inhabitants of the County of Timarui
23/4/1969 at 2.40 p.m.
A.L.R.

Mortgage 845700 of P. & G. Gould Guinness Limited and Theresa Irene Downey - 12/10/1971 at 11.40 a.m.
29

Transfer 798400 to Heathfield Investments Limited and Marvic Investments Limited as tenants in common in equal shares - 4/6/1970 at 9.20 a.m.
A.L.R.

Mortgage 215368/1 to Housing Corporation of New Zealand - 12/12/1979 at 9.01a.m.
for A.L.R.

Transfer 834835 to Ernest John Downey of Christchurch Motor Driver and Gaile Elizabeth Downey his wife - 23/6/1971 at 11.45 a.m.
A.L.R.

CHRISTCHURCH CITY COUNCIL
P.M. APPLICATION
Rec'd - 4 SEP 2000
Sockburn Service Centre
PROJECT No. 10007783


TUCKERS ROAD

81-65	87-57	81-65	81-65	81-65	81-65	81-65	107-66
8	7	6	5	4	3	2	1
24 ² p.	25 ⁷ p.	24 p.	24 p.	24 p.	24 p.	24 p.	24 p.
83-17	87-57	81-65	81-65	81-65	81-65	81-65	55-93

Scale: 1 inch = 1 chain

S.M.T. RAILWAY

No. 8K / 1317

 <p>CHRISTCHURCH CITY COUNCIL - ENVIRONMENT</p>	<p>CHRISTCHURCH CITY COUNCIL</p> <p>BUILDING ACT 1991</p> <p>Project Information Memorandum</p>	<p>FORM BA2</p> <p>PROJECT NO:</p> <p>10007783</p>
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Site Address:	67 Tuckers road	Legal Desc:	Lot No: 1	DP No: 27016
Applicant:	Versatile Buildings P O Box 11336 Christchurch	Owner:	J Downey	
		Proposal:	Garage	

The following matters have been identified in respect of the above Building Project.

HAZARDS / SPECIAL LAND CHARACTERISTICS

- No records are held by Council for the site but the locality is known to have suspect ground conditions.

DRAINAGE

- Drainage plan provided.

Total Project Information Memorandum fees	\$ 65.00	
Paid	\$ Nil	Receipt No.:
Balance to pay	\$ 65.00 <i>Fee is payable upon uplifting building consent</i>	

Signed for and on behalf of the Council: *M Pottinger* Date: 14-Sep-00

NAME: MAUREEN POTTINGER

POSITION: TECHNICAL CLERK

This project may proceed subject to the issue of a Building Consent and any other necessary authorisations being obtained.

NB: This Project Information Memorandum will lapse and be of no effect if a Building Consent has not been issued within 24 calendar months from the above date of issue.

**CONSENTS
COPY**



**CHRISTCHURCH CITY COUNCIL
WATER SERVICES UNIT**

DRAINAGE RECORD PLANS

CAUTION

CHRISTCHURCH
CITY COUNCIL - WATER

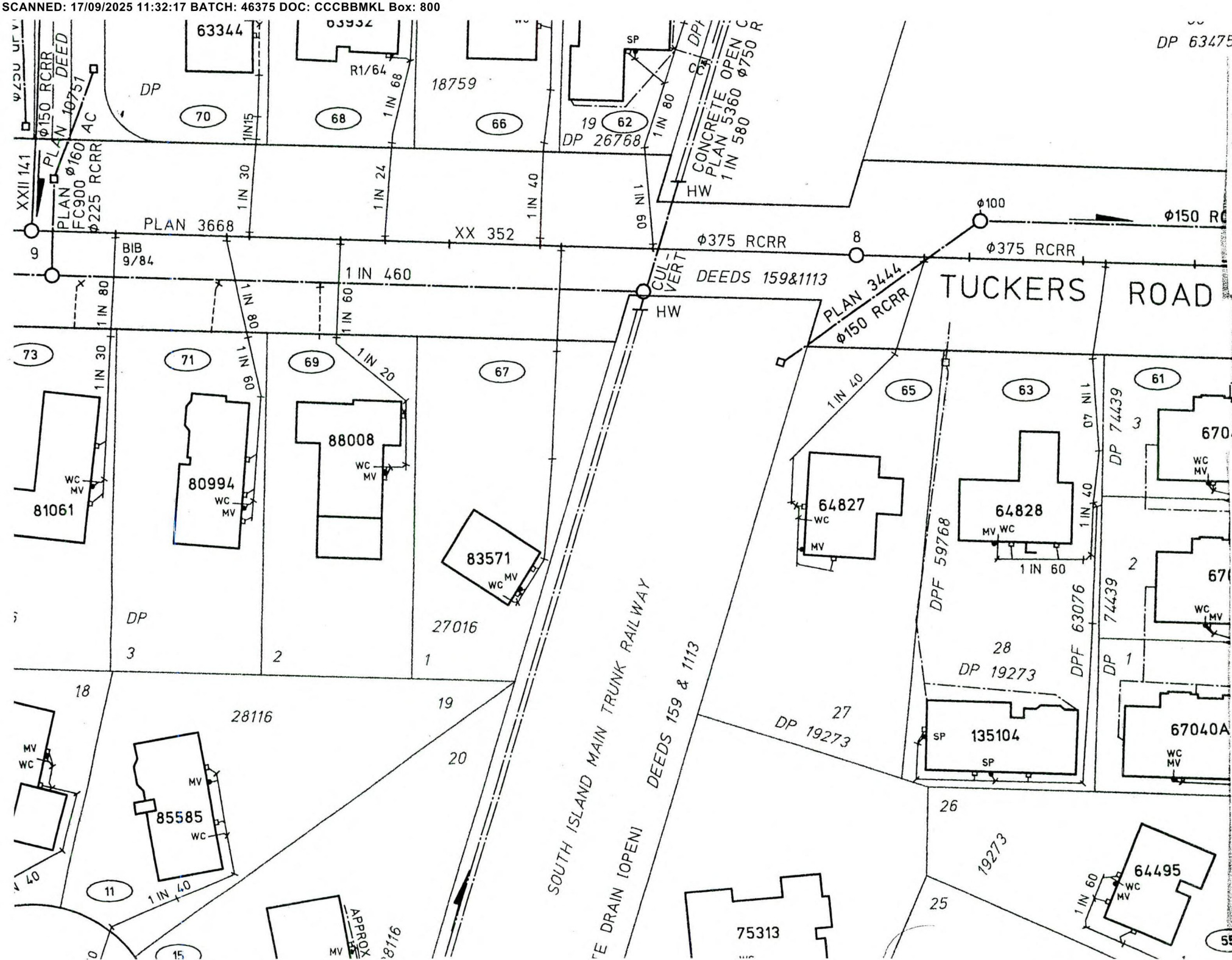
PH: 371 1300
FAX: 371 1385

- 1 SEP 2000

The accuracy of this plan and the measurements are not guaranteed and should be verified by inspection.

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1/2000 1/500 1/396



Compliance Copy

CHRISTCHURCH CITY COUNCIL

ENVIRONMENTAL SERVICES UNIT

TAX INVOICE

BUILDING CONSENT FEES

INV 12952
GST NO 53-198-554
DATE 13/09/2000

DOWNEY, ERNEST JOHN

C/O VERSATILE BUILDINGS
P O BOX 11336
SOCKBURN

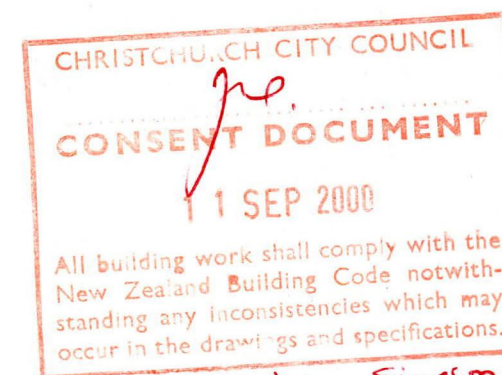
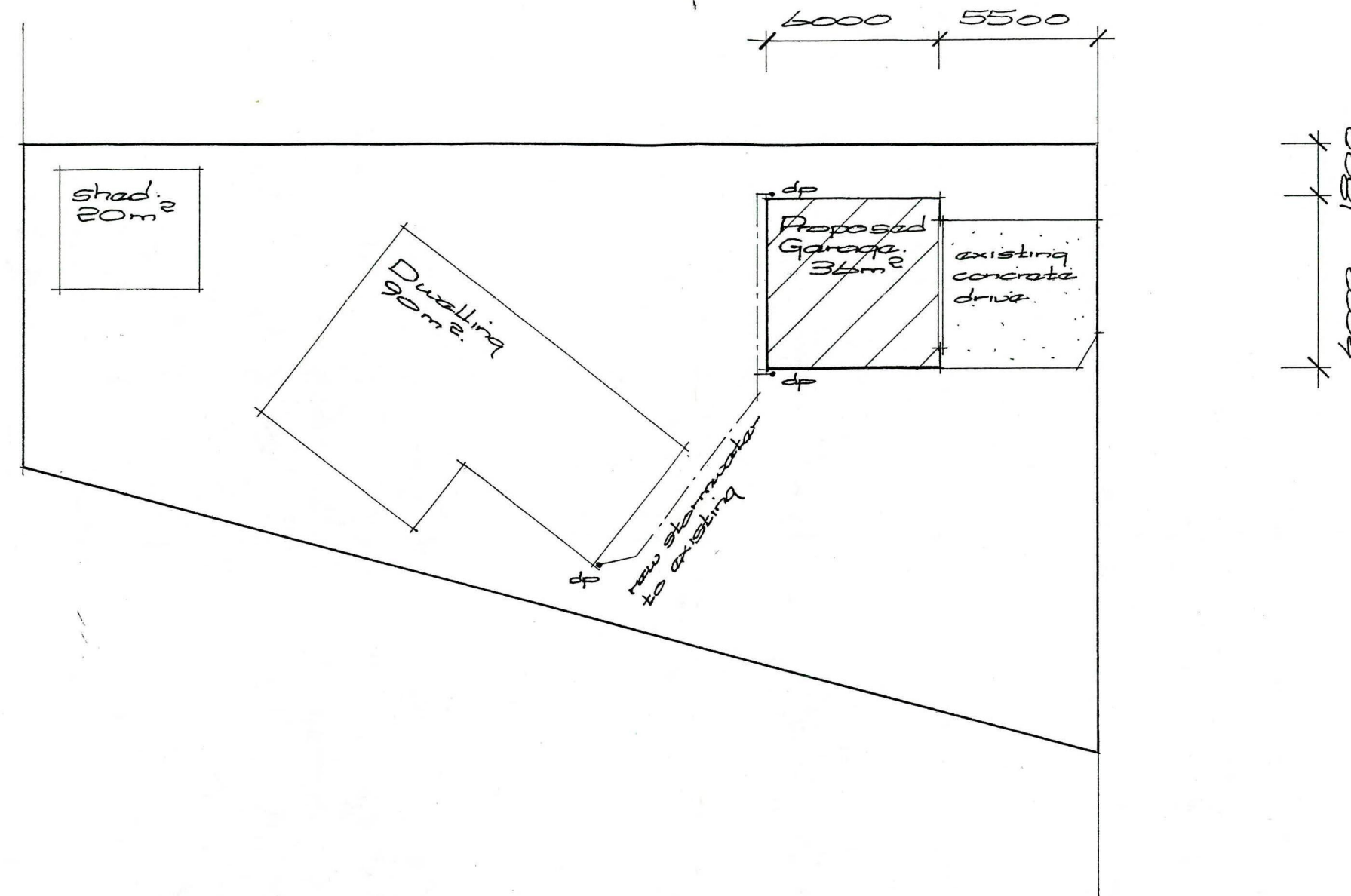
FILE COPY

CONSENT APPLICATION NO: ABA10007783
OWNERS NAME: DOWNEY, ERNEST JOHN
PROJECT STREET ADDRESS: 67 TUCKERS ROAD
NORTHCOTE
CUSTOMER CODE: 3036382
INVOICED TO DATE: \$0.00

FEE CODE	DESCRIPTION	THIS INVOICE
B01	Project Information Memorandum	65.00
B02	Accept & Issue Consent	30.00
B03	Process and Grant	60.00
B05	Code Compliance Grant/Issue	30.00
B11	Inspections (additional)	103.00

TOTAL (GST inclusive) \$288.00

Site Area-
 Dwelling Area-
 Garage Area
 Site Coverage



FILE COPY

VERSATILE
 BUILDINGS

HEAD OFFICE:
 112 WATERLOO ROAD
 PH: (03) 348-8704
 FAX: (03) 348-9093

PROPOSED GARAGE FOR:

Mr + Mrs. J. Downey.
 67 Tuckers Road.

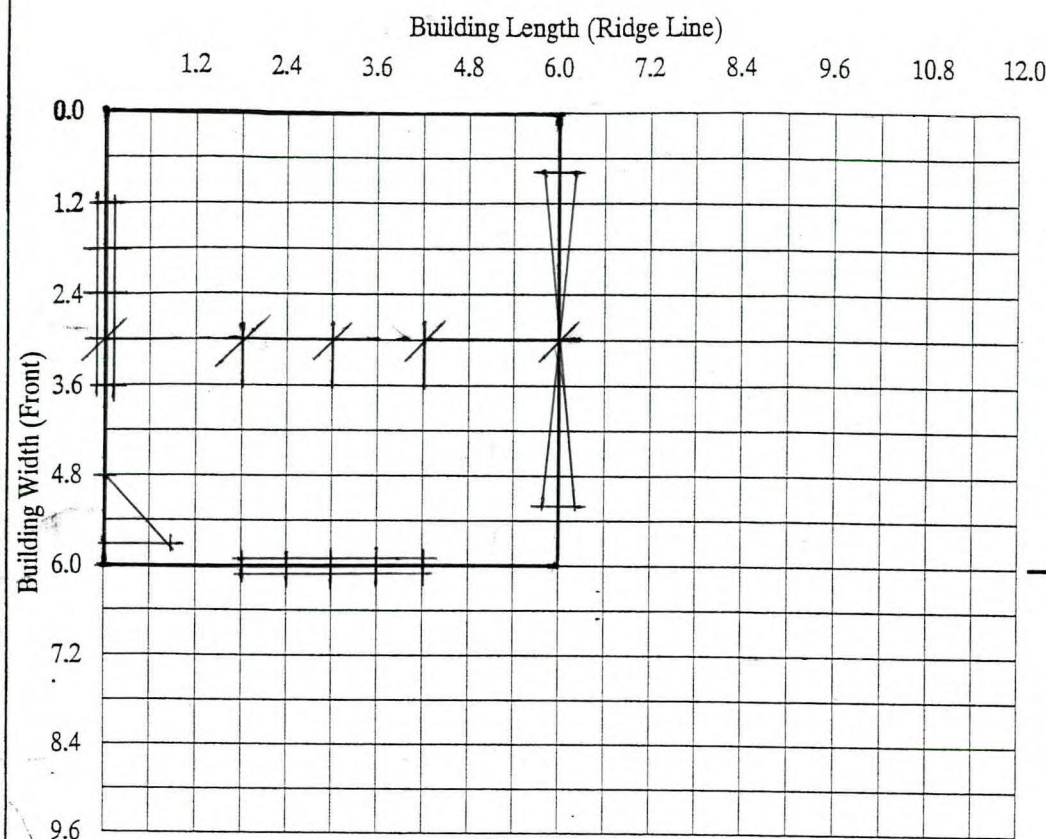
DRAWING TITLE :

Versatile Buildings Ltd

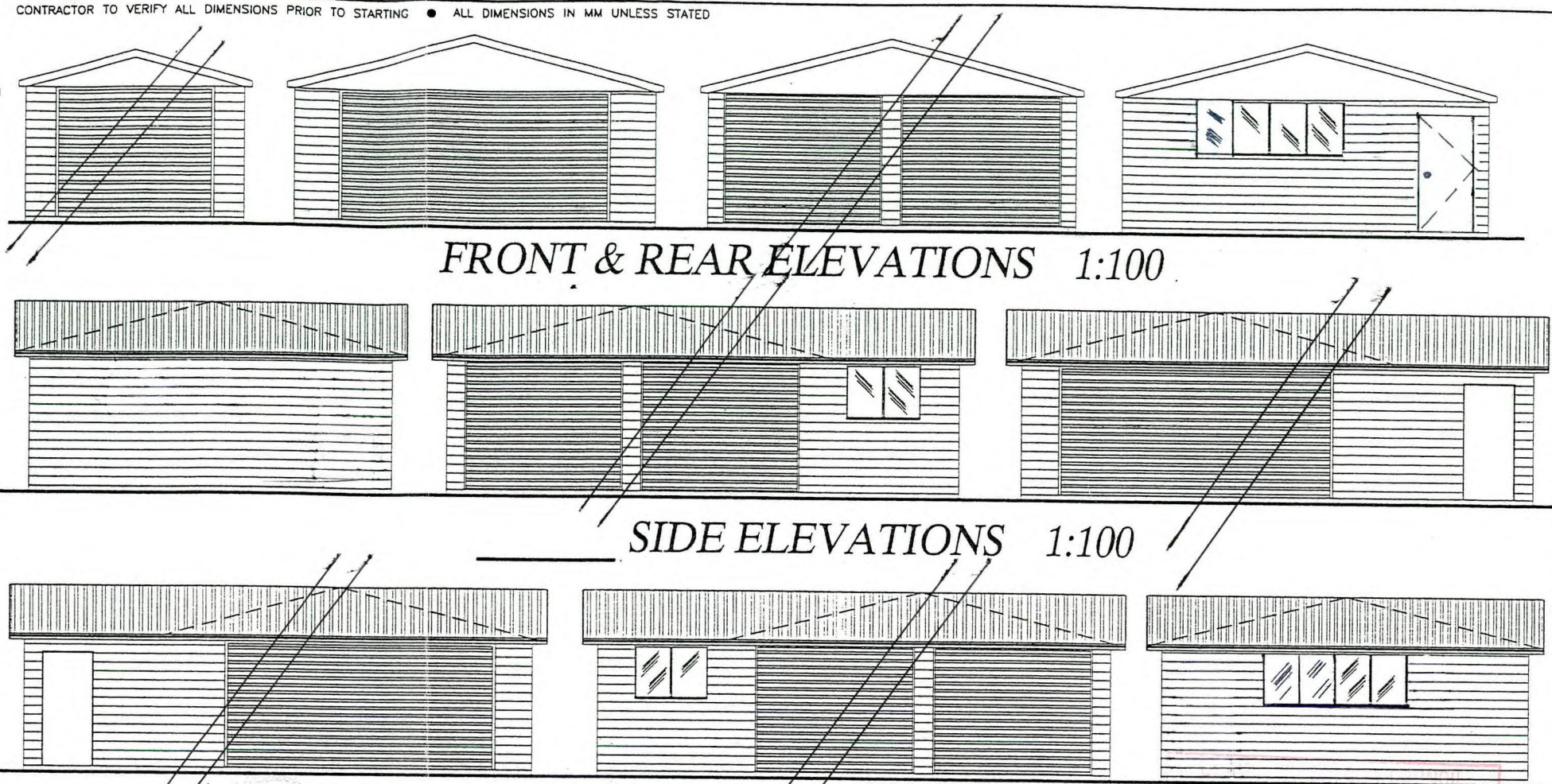
Scale : 1 : 200

Date : 30/8/00

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED



FLOOR PLAN 1:100 FLOOR AREA: 36 m²



FRONT & REAR ELEVATIONS 1:100

SIDE ELEVATIONS 1:100

SIDE ELEVATIONS 1:100

Wind Zone:	Low	Med	High	V.High
Producer Statement - Refer Page:				
Snow Zone:	0.5 Kpa			

Deleted Not Applicable

GENERAL
All work to comply with the New Zealand Building Code. This specification and drawings shall be read in conjunction with Gangnail Producer Statement for Design, dated 26 July, 1996.

FOUNDATIONS
Concrete floor shall be 17.5 MPA, 100mm thick. Footing as detailed.

WALL FRAMING
All timber shall be machine gauged and treated to T.P.A. specification H1 or Chemical Free Dry frame. Studs shall be 90x35 dry frame at 600 c/s and housed into plates with dwangs housed into studs. Lay two ply malthoid d.p.c. under all plates. Refer Gangnail Producer Statement CH3900/107 for timber grade options and specification.

ROOF FRAMING
Purlins shall be 90mm x 45mm on edge at 1100 max c/s fixed to Gangnail 15 degree trusses at centres shown below. Fix purlins and trusses as detailed in Gangnail Producer Statement for Design.

SIDE ENTRY OPENING LINTELS
Refer Soon Loo Consultants Ltd Producer Statement for Design, dated February 1997, for side entry lintels table below relates to Low Wind, up to 0.3 Snow (Kpa), Refer Producer Statement for others.

Clear Span	Truss Span: 6000	Truss Span: 6600 & 7200	Truss Span: 7800-9000
Max. span 2.7	170 x 45 LVL Lintel	170 x 45 LVL Lintel	200 x 45 LVL Lintel
Max. span 3.0	240 x 45 LVL Lintel	240 x 45 LVL Lintel	240 x 45 LVL Lintel
Max. span 4.5	240 x 45 LVL Lintel	240 x 45 LVL Lintel	240 x 63 LVL Lintel
Max. span 4.8	240 x 45 LVL Lintel	240 x 63 LVL Lintel	300 x 45 LVL Lintel

Trusses butted to lintel with 90 x 45 lumberlock joist hanger.

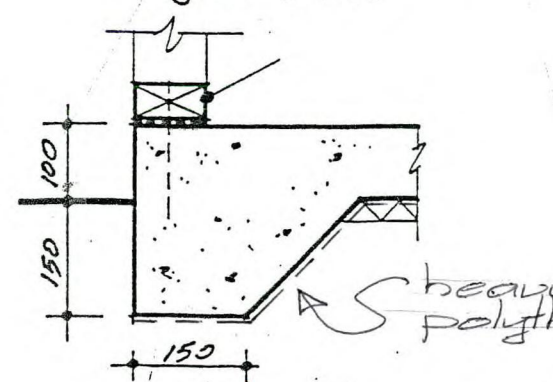
ROOFING
Shall be 0.44 B.M.T. steel longrun rib roofing, fixed with 65/75mm weatherseal spiral shank nails, over building paper on Ultra-Violet fast lashing.

WALL CLADDING
Shall be Versatiled
Fix in accordance with Gangnail Producer Statement for Design.

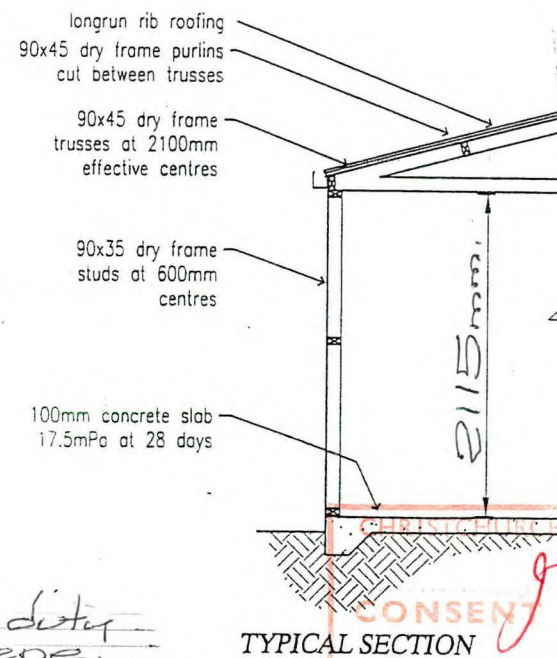
ROOF BRACING
Fix 90 x 45 dragon ties on flat to each corner of building up to 6.0m x 4.8m. For buildings over 6.0m x 4.8m fix Lumberlock roof plane strap bracing in accordance with Gangnail Producer Statement for Design.

WALL BRACING
For Supercad 300 horizontal weatherboard fix 22 x 22 x 1.2 metal angle bracing in accordance with NZS 3604. For steel sheet weatherboard cladding no metal angle bracing is required, refer Gangnail producer statement.

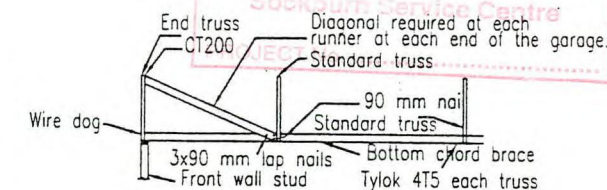
90x35 bottom plate fixed at 1.2m max c/s with M10 x 160 mm galv-bolts.



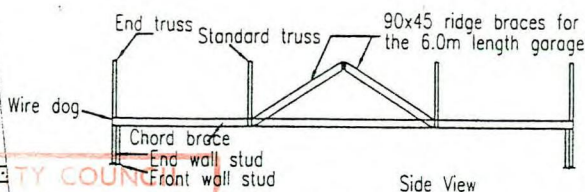
FOUNDATION DETAIL 1:10



TYPICAL SECTION



BOTTOM CHORD BRACE DETAIL
For all lengths apart from 6.0m garage
For all widths over 4.8m wide



RIDGE BRACING FOR 6.0 M GARAGE

BOTTOM CHORD BRACE DETAIL

DETAILS

VERSATILE BUILDINGS

HEAD OFFICE:
112 WATERLOO ROAD

PH: (03) 348-8704
FAX: (03) 348-9093

PROJECT TITLE

Proposed Garage For:

Mr + Mrs Downey

DRAWING TITLE


VERSATILE GARAGE

Note: Construction to comply with NZS 3604 (1990) and the New Zealand Building Code 1992 REFER TO PRODUCER STATEMENT

SCALE: 1:100
DATE: Sep '97
DRAWN: B.O'Connor VG-1301A
FILE:

SHEET: 1
OF:

F

 <p>CHRISTCHURCH CITY COUNCIL · ENVIRONMENT</p>	<p>CHRISTCHURCH CITY COUNCIL</p> <p>BUILDING ACT 1991</p> <p>Project Information Memorandum</p>	<p>FORM BA2</p> <p>PROJECT NO:</p> <p>10007783</p>
---	--	---

Site Address:	67 Tuckers road	Legal Desc:	Lot No: 1	DP No: 27016
Applicant:	Versatile Buildings P O Box 11336 Christchurch	Owner:	J Downey	
		Proposal:	Garage	

The following matters have been identified in respect of the above Building Project.

HAZARDS / SPECIAL LAND CHARACTERISTICS

- No records are held by Council for the site but the locality is known to have suspect ground conditions.

DRAINAGE

- Drainage plan provided.

Total Project Information Memorandum fees	\$ 65.00	
Paid	\$ Nil	Receipt No.:
Balance to pay	\$ 65.00	<i>Fee is payable upon uplifting building consent</i>

Signed for and on behalf of the Council: _____  Date: 14-Sep-00

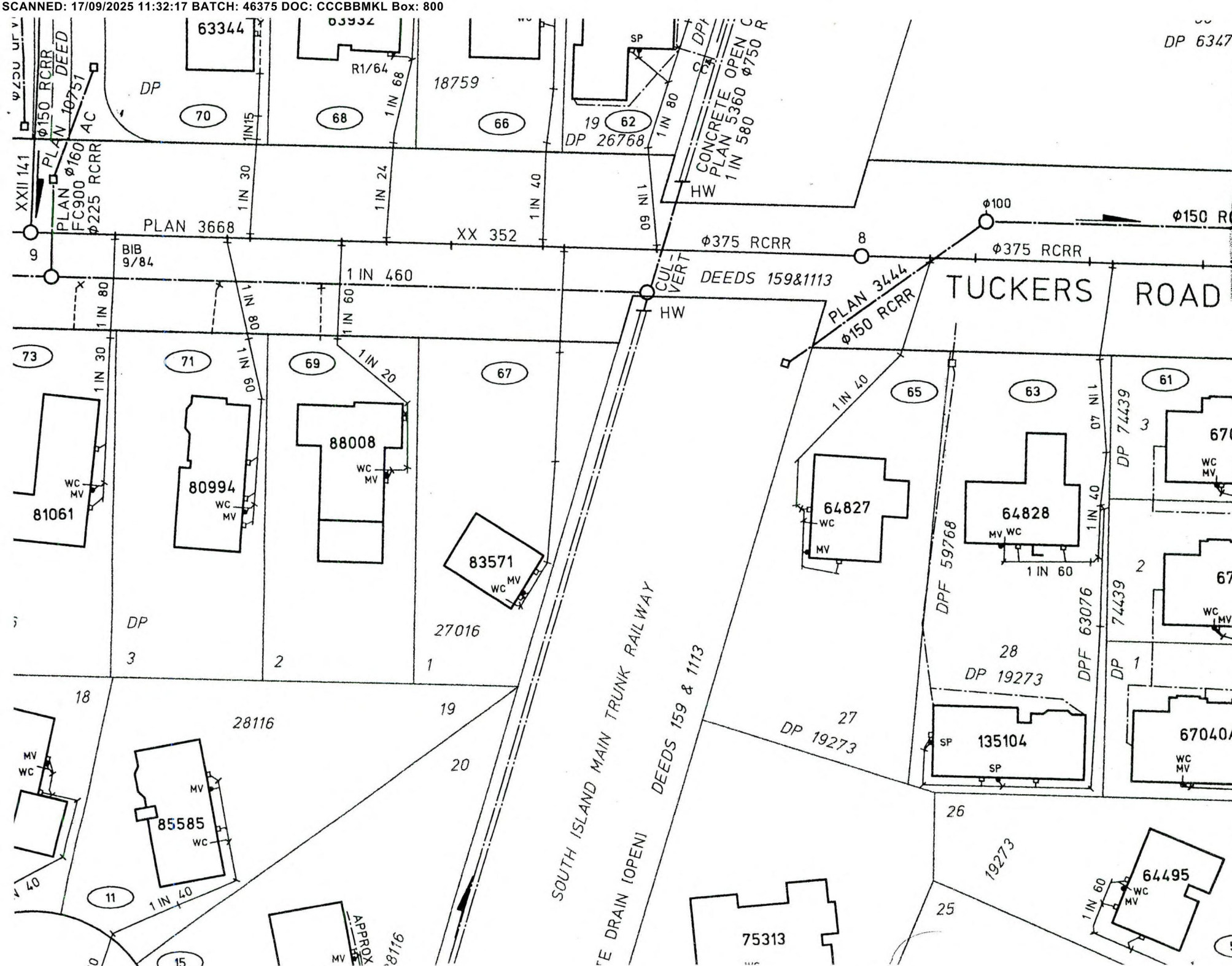
NAME: MAUREEN POTTINGER

POSITION: TECHNICAL CLERK

This project may proceed subject to the issue of a Building Consent and any other necessary authorisations being obtained.

NB: This Project Information Memorandum will lapse and be of no effect if a Building Consent has not been issued within 24 calendar months from the above date of issue.

FILE COPY



CHRISTCHURCH CITY COUNCIL
WATER SERVICES UNIT

PH: 371 1300
FAX: 371 1385

- 1 SEP 2000

The accuracy of this plan and the measurements are not guaranteed and should be verified by inspection.

CAUTION

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PROHIBITED

1/2000 1/500 1/396

CHRISTCHURCH CITY COUNCIL
WATER SERVICES UNIT

DRAINAGE RECORD PLANS

77563


RESIDENTIAL/LIVING

PIM APPLICATION CHECK SHEET

Project Number: 10007783Location: 67 Tuckers Rd.

Proposal: _____

Checked	Comment	Officer	Date	Time
<input type="checkbox"/> Building	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/> Traffic	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/> Envir. Health	<input type="checkbox"/> Yes <input type="checkbox"/> No			
Transitional District Plan			Proposed City Plan	
Zoning	<u>RES 4</u>		Zoning	<u>L1</u>
Designations			Designations	
Road widening			Footprint/Sam	
Protected Item			Protected Item	
Airport Noise			Airport Noise	
Site area	<u>OK</u>		Site area	<u>OK</u>
Shape factor			Net site area	
Res. Site Density/Plot Ratio			Res. Site Density/Plot Ratio	
Site coverage			Site coverage	
Height			Height	
Recession Planes			Recession Planes	
Street scene			Street scene	
Garage setback			Garage setback	
Internal boundary setback	<u>OK</u>		Internal boundary setback	
Waterway setback			Waterway setback	<u>OK</u>
Separation distance/windows/balcony			Window/balcony setback	
Outdoor living/service area			Outdoor living/service area	
Landscaping			Landscaping	
Storage space			Storage space	
Accessory building length			Accessory building length	
Accessory building area			Cont. building length	
Design and appearance			External appearance	
Other			Other	
Traffic				
Car parking/garageable spaces			Car parking/garageable space	
Visitor Park			Visitor Park	
Access/gradients			Access/gradients	
Manoeuvring			Manoeuvring	
Crossing separation	<u>OK</u>		Crossing separation	<u>OK</u>
Crossing distance			Crossing distance	
Crossing width			Crossing width	
Other			Other	
Other			Activity	
Relocated buildings			Permitted	
Family Flat			Controlled	
Reserve Contrib/Dev Levy(Central)			Discretionary	
(Suburbs)	<u>OK</u>		Non-complying	<u>OK</u>
Subdivision/Title issued				
Cross-lease Owners consent				
Resource Consents recorded				
Other				

 CHRISTCHURCH CITY COUNCIL - ENVIRONMENT	CHRISTCHURCH CITY COUNCIL APPLICATION FOR BUILDING CONSENT	FORM: BA3 PROJECT NO: 10007783
	PLEASE COMPLETE ALL SECTIONS OF THIS FORM (IF APPLICABLE TO YOUR APPLICATION)	

Has a Project Information Memorandum been issued for this project? ☒ No ☐ Yes ⇒ Project No.: _____

APPLICATION DETAILS [3036382]	PROJECT DETAILS [780609]
OWNER (as defined by the Building Act 1991) Full Name(s): <u>Mr + Mrs J. Downey</u> Street Address: <u>67 Tuckers Rd</u> Mailing Address: <u>Christchurch</u> Phone: <u>3526245</u> Fax: _____	LOCATION Street Address: <u>67 Tuckers Road</u> Lot: <u>1</u> DP: <u>27016</u> Other: <u>B/S pt 291</u>
APPLICANT (Must be authorised by the owner to make this application) Name: <u>Peter McDermid</u> Company: <u>Versatile Buildings</u> Mailing Address: <u>Box 11-336</u> Street Address: <u>Sockburn</u> Phone: <u>3488704</u> Fax: <u>3489093</u>	DESCRIPTION OF WORK: <u>erect garage</u> INTENDED USE: <u>private</u>
Estimated Value of proposed work (inclusive of GST): \$ <u>6000</u> Building Consent to be uplifted from: <input checked="" type="checkbox"/> <u>Sockburn</u> Service Centre <input type="checkbox"/> If prepaid post to Owner / Applicant (delete one)	Will the building undergo a change of use? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Intended Life if less than 50 years: _____ years Being stage _____ of an intended _____ stages
Water Supply Is a new supply required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Residential / Commercial (DELETE ONE) If commercial, has estimate been obtained from the Council? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Distance from LH / RH boundary (looking from street) _____ metres Nominate street if a corner site: _____	FLOOR AREA Ground Floor: Existing <u>90</u> m ² Add _____ m ² Other Floor: Existing _____ m ² Add _____ m ² Accessory Building Area: Existing <u>20</u> m ² Add <u>36</u> m ²
Road Opening / Footpath Opening Is an opening required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Select type of service: Sewer / Stormwater	Planning - Site Coverage Total area of all buildings over foundation at ground level. Existing <u>110</u> m ² Proposed <u>36</u> m ² Vehicle Crossing (in relation to this Building Consent) Is a vehicle crossing required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Select: New / Extension / Residential / Commercial
FOR COUNCIL USE ONLY	
Prepaid Fee: \$ _____ Receipt No: _____ Receiving Officer's Name: _____ Date Received: _____	DRAINAGE INFORMATION Block Plan <input checked="" type="checkbox"/> Full PIM <input type="checkbox"/> N/A <input type="checkbox"/> Date Requested <u>5 / 9 / 00</u>
HAZARDS: _____	

SECTION 1



CHRISTCHURCH CITY COUNCIL

DOCUMENT TRANSFER

Date 5.9.00

From SOCKBURN SERVICE CENTRE

Issued to: ~~BUILDING CONSENTS~~
~~FENDALTON SERVICE CENTRE~~
~~LINWOOD SERVICE CENTRE~~
~~CITY SERVICE CENTRE~~

To Cindy
From Leo

☐
☒
☐
☐

DOCUMENT DESCRIPTION	COPIES
Hi Leo,	
Please send me Hazards for the following:	
67 Tuckers Road. (c) suspect ground in locality	
10 Colesbury Street. (c) suspect ground in locality.	
Thanks	
Cheers & have a good day	
Cindy (Sockburn)	

Reasons for Transfer:

HAZARD INFORMATION / PROTECTED TREES / SUB-DIVISION
COUNCIL'S REQUESTS

Please tick (✓) in applicable box

Send by

☐

Mail

☒

Fax

☐

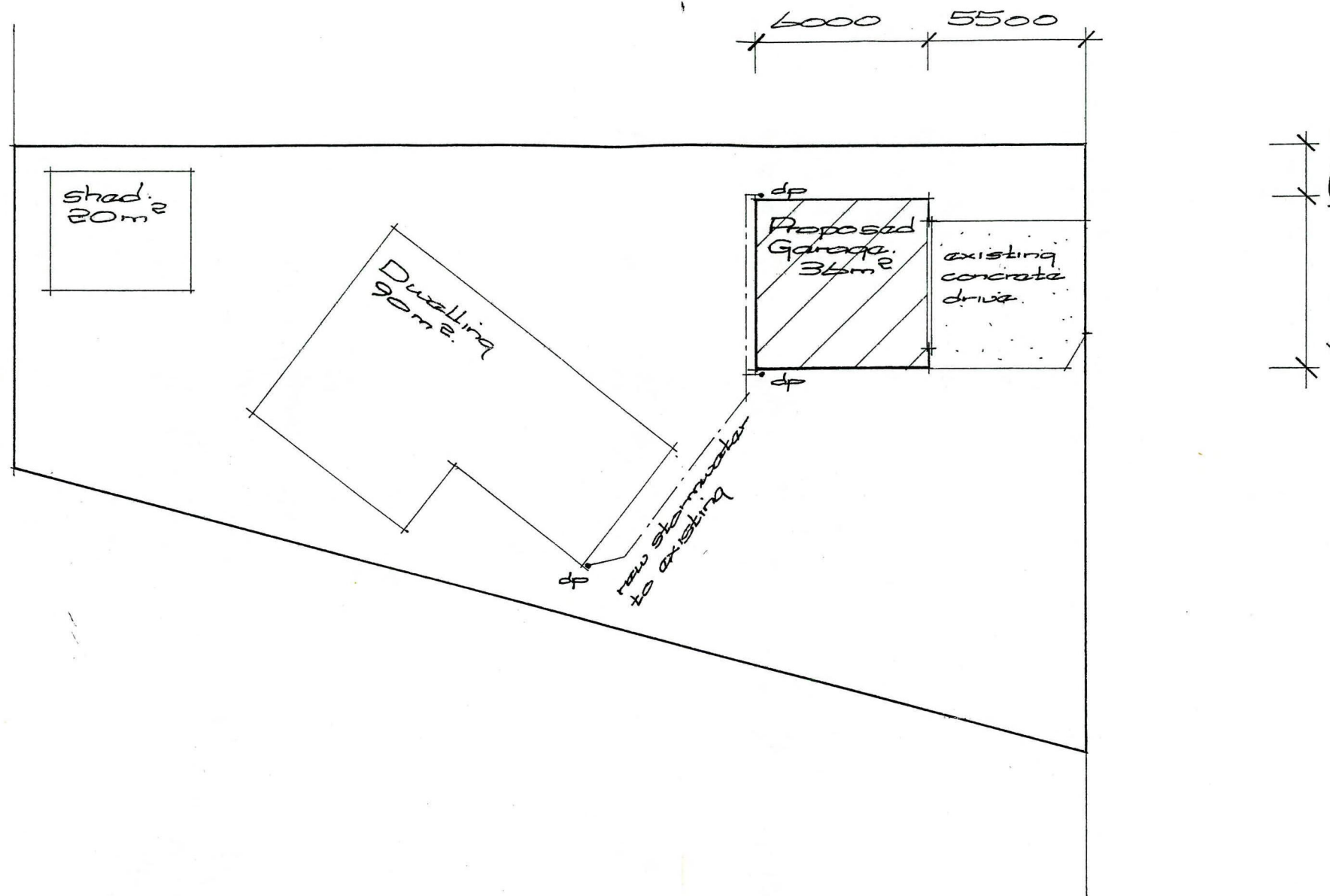
Other

☐

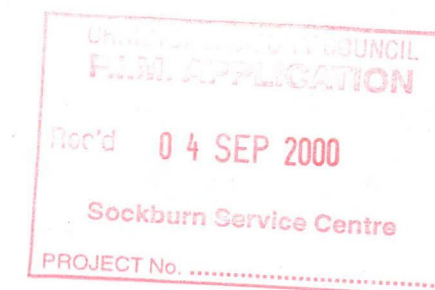
Computer Recorded

Comments:

Site Area-
Dwelling Area-
Garage Area
Site Coverage



Tuckers Road.



FILE COPY

VERSATILE
BUILDINGS

HEAD OFFICE:
112 WATERLOO ROAD

PH: (03) 348-8704
FAX: (03) 348-9093

PROPOSED GARAGE FOR:
Mr + Mrs. J. Downey.
67 Tuckers Road.

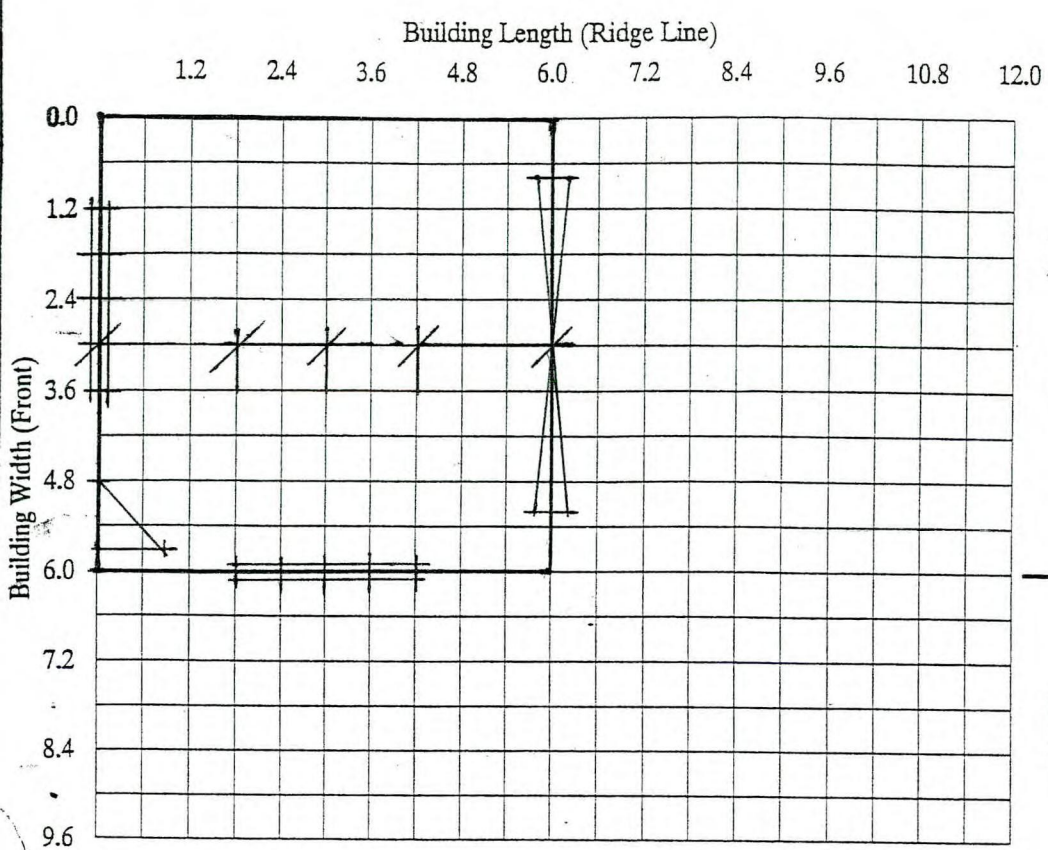
DRAWING TITLE :
Versatile Buildings Ltd

Scale : 1 : 200
Date : 30/8/00

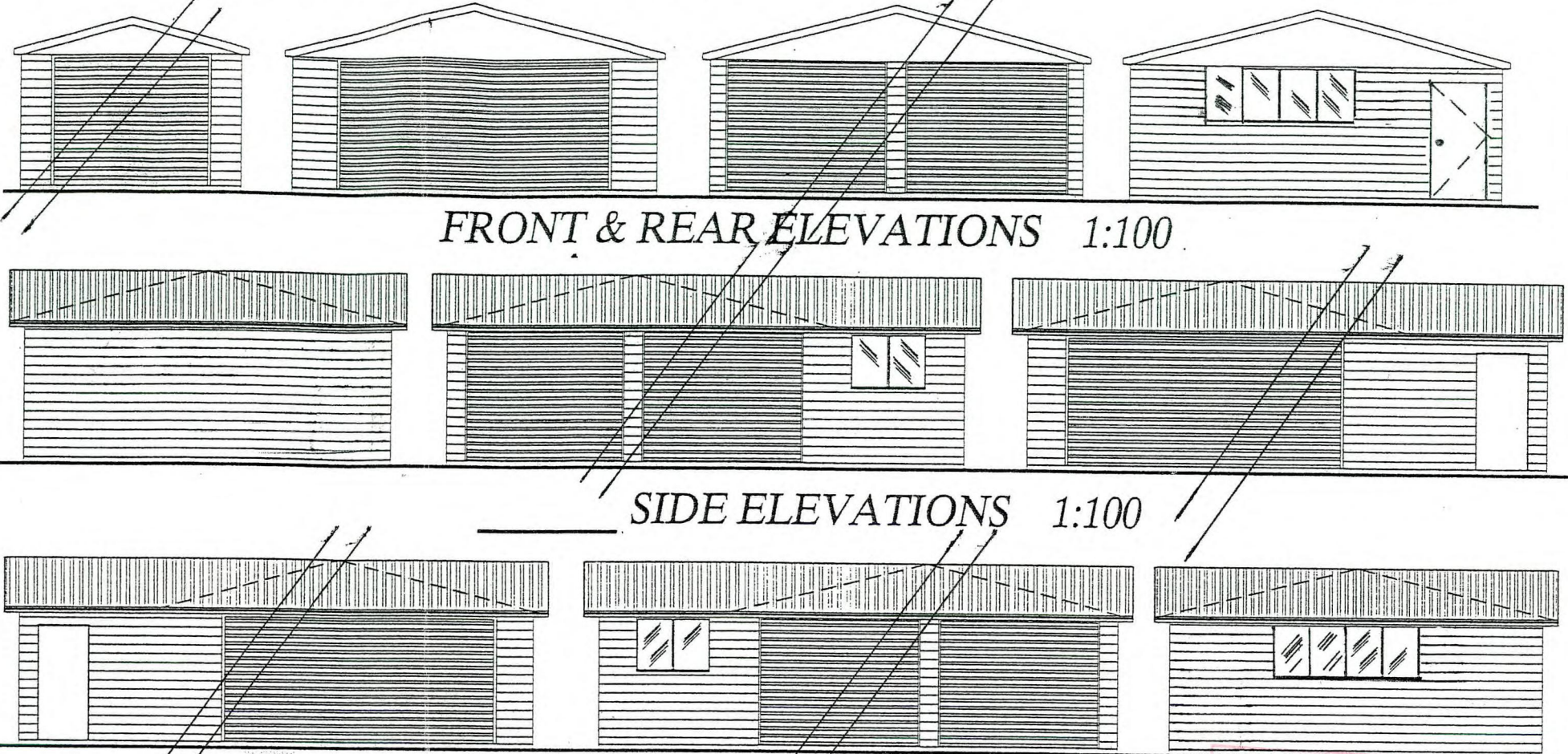
FILE COPY

CHRISTCHURCH CITY COUNCIL
P.L.A. APPLICATION
Rec'd - 4 SEP 2000
Sockburn Service Centre
PROJECT 10007783

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED



FLOOR PLAN 1:100 FLOOR AREA: 36 m²



FRONT & REAR ELEVATIONS 1:100

SIDE ELEVATIONS 1:100

SIDE ELEVATIONS 1:100

Wind Zone: ☒ Low ☐ Med ☐ High ☐ V.High
Producer Statement - Refer Page:
Snow Zone: ☒ 0.5 Kpa ☐ Deleted Not Applicable

SPECIFICATIONS

GENERAL
All work to comply with the New Zealand Building Code. This specification and drawings shall be read in conjunction with Gangnail Producer Statement for Design, dated 26 July, 1996.

FOUNDATIONS
Concrete floor shall be 17.5 MPA, 100mm thick. Footing as detailed.

WALL FRAMING
All timber shall be machine gauged and treated to T.P.A. specification H1 or Chemical Free Dry frame. Studs shall be 90x35 dry frame at 600 crs and housed into plates with dwangs housed into studs. Lay two ply malthoid d.p.c. under all plates. Refer Gangnail Producer Statement CH3900/107 for timber grade options and specification.

ROOF FRAMING
Purlins shall be 90mm x 45mm on edge at 1100 max crs fixed to Gangnail 15 degree trusses at centres shown below. Fix purlins and trusses as detailed in Gangnail Producer Statement for Design.

SIDE ENTRY OPENING LINTELS
Refer Soon Loo Consultants Ltd Producer Statement for Design, dated February 1997, for side entry lintels table below relates to Low Wind, up to 0.3 Snow (Kpa), Refer Producer Statement for others.

Clear Span	Truss Span: 6000	Truss Span: 6600 & 7200	Truss Span: 7800-9000
Max. span 2.7	170 x 45 LVL Lintel	170 x 45 LVL Lintel	200 x 45 LVL Lintel
Max. span 3.0	240 x 45 LVL Lintel	240 x 45 LVL Lintel	240 x 45 LVL Lintel
Max. span 4.5	240 x 45 LVL Lintel	240 x 45 LVL Lintel	240 x 63 LVL Lintel
Max. span 4.8	240 x 45 LVL Lintel	240 x 63 LVL Lintel	300 x 45 LVL Lintel

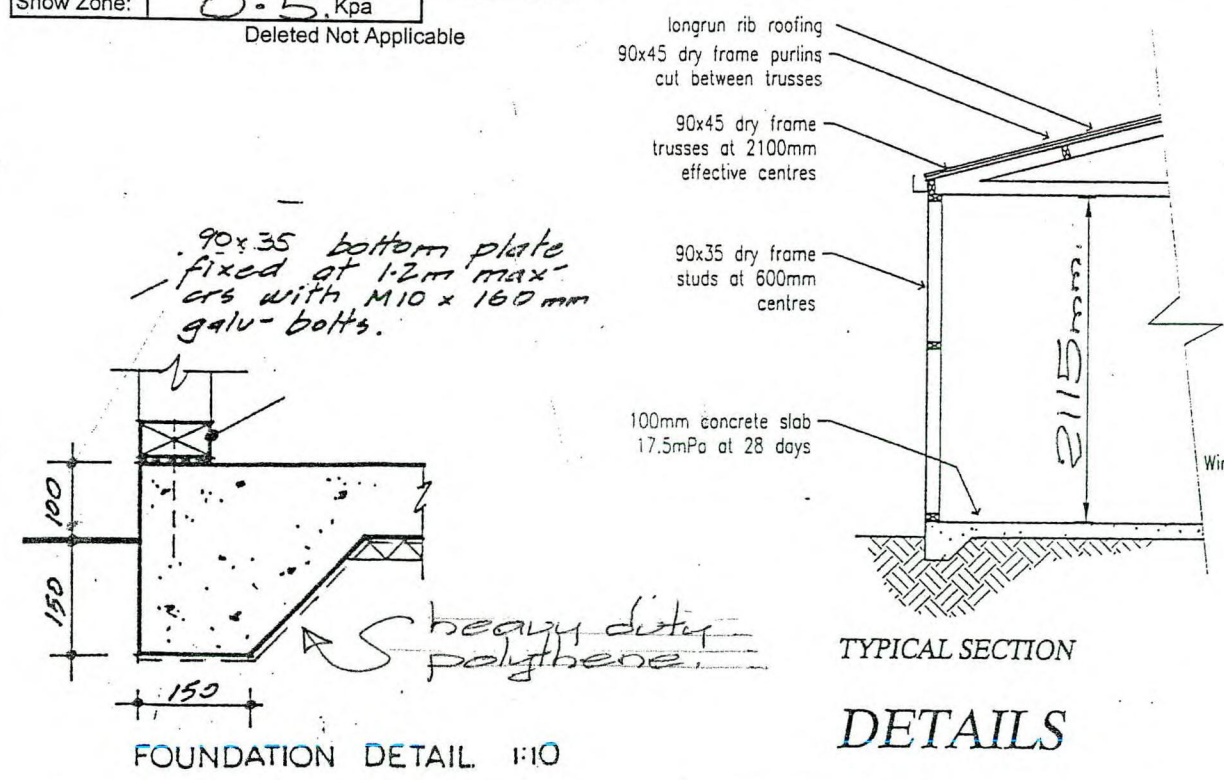
Trusses butted to lintel with 90 x 45 lumberlock joist hanger.

ROOFING
Shall be 0.44 B.M.T. steel longrun rib roofing, fixed with 65/75mm weatherseal spiral shank nails, over building paper on Ultra-Violet fast lashing.

WALL CLADDING
Shall be Versatile
Fix in accordance with Gangnail Producer Statement for Design.

ROOF BRACING
Fix 90 x 45 dragon ties on flat to each corner of building up to 6.0m x 4.8m. For buildings over 6.0m x 4.8m fix Lumberlok roof plane strap bracing in accordance with Gangnail Producer Statement for Design.

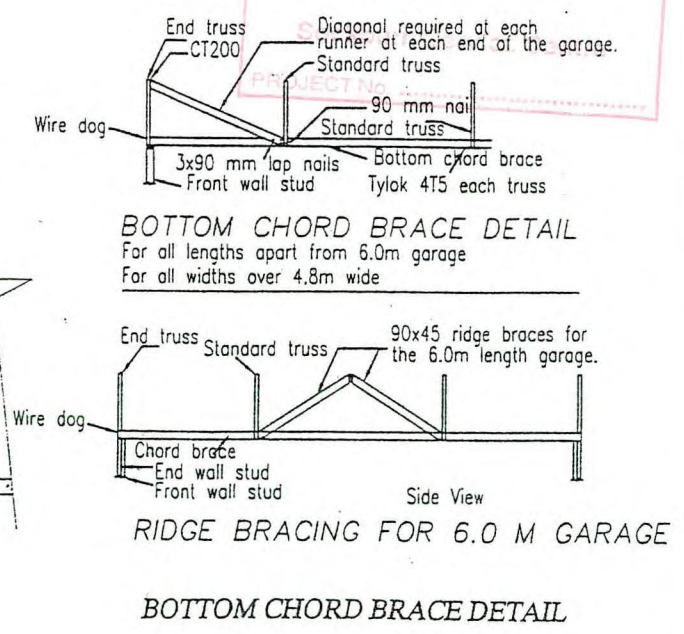
WALL BRACING
For Superclad 300 horizontal weatherboard fix 22 x 22 x 1.2 metal angle bracing in accordance with NZS 3604. For steel sheet weatherboard cladding no metal angle bracing is required, refer Gangnail producer statement.



FOUNDATION DETAIL 1:10

TYPICAL SECTION

DETAILS



BOTTOM CHORD BRACE DETAIL
For all lengths apart from 6.0m garage
For all widths over 4.8m wide

RIDGE BRACING FOR 6.0 M GARAGE

BOTTOM CHORD BRACE DETAIL

Note: Construction to comply with NZS 3604 (1990) and the New Zealand Building Code 1992 REFER TO PRODUCER STATEMENT

VERSATILE BUILDINGS

HEAD OFFICE: 12 WATERLOO ROAD
PH: (03) 348-8704
FAX: (03) 348-9093

PROJECT TITLE
Proposed Garage For:
Mr + Mrs Downey

DRAWING TITLE
VERSATILE GARAGE

SCALE: 1:100
DATE: Sep '97
DRAWN: B.O'Connor
FILE: VG-1301A

SHEET: 1
OF:

WAIMAIRI COUNTY COUNCIL - BUILDER'S DAMAGE

Building Permit No. 20358 File No. ~~P/T~~ / 67
 Owner/Builder Downey 7590
 Address 67 Tuckers Road.

	Unit	Rate	Cost
S.W. Trench.....	sq yds	\$2	
F.P. Damage.....	sq yds	\$2 or \$1.50	
Berm. Damage.....	sq yds	\$1	
K. & C. Damage.....	ft.	\$2	
Road Damage.....	sq yds	\$2	
Veh. Entrance Marked	NOT PLANNED		
Other.....			\$

Special Notes :

Big Drain along Road Bdy

Signed R J H Date 19-10-71

WAIMAIRI COUNTY COUNCIL-BUILDER'S DAMAGE

Building Permit No. 20358 File No. ~~171~~ / 67

Owner/Builder Dawson 7590

Address 67 Tuckers Road.

	Unit	Rate	Cost
S.W. Trench.....	sq yds	\$2	
F.P. Damage.....	sq yds	\$2 or \$1.50	
Berm. Damage.....	sq yds	\$1	
K. & C. Damage.....	ft.	\$2	
Road Damage.....	✓ sq yds	\$2	
Veh. Entrance Marked	NOT. PLANNED		
Other.....			\$

Special Notes :

Big Drain along Road Bdy

Signed P. J. H. Date 12.10.71

No. 20358

B.1

Riding Papanni

Assessment No. 2142/368/-

Date 23 APR 1970

19 70

WAIMAIRI COUNTY COUNCIL

To THE COUNTY ENGINEER

Sir,

FILE No. PTH/67

7590

I/We hereby apply for permission to erect dwelling

at No. Lot 1 Tuckers Rd Northcote CH CH

For E.J. Downey

of 9 SAUSAGE ST CH CH 5

according to locality plan and detailed plans, elevations, cross-sections, and specification of building (see back hereof) deposited herewith in duplicate.

PARTICULARS OF LAND

Lot No. I

D.P. 27016

R.S. 291

Frontage 107.66 LINKS

Area 3.6K V11 CHCH SID

PARTICULARS OF BUILDING

Foundations PILERS

Walls 4x2 6x2 STD

Roof 1 Ron

Distance from Nearest Building On Site -

Distance from Nearest Building Adjoining Site - 50'

Area of Proposed Outbuildings sq. ft.

Area of Floor Space 1000 594 sq. ft.

Area of Existing Outbuildings sq. ft.

ESTIMATED VALUE			
Main Building	...	\$	3,000
Out Buildings	...	\$	
Plumbing and Drainage	...	\$	
Total	...	\$	

RECEIVED

23 APR 1970

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) Private

Proposed use or occupancy of other part of building

Nature of ground on which building is to be placed and of the subjacent strata Sailed clay

STRUCTURAL

CHECK

REQUIRED

Yours faithfully,

phoned 13/5/70

Owner H.W. SMITH LTD

Builder (OWNER) 9 SAUSAGE ST CHCH 5

Postal Address

FOR OFFICE USE ONLY

Zoning Res A

Fire Zone

Yards Check OK

Area Check

Building Line Restriction Check 15' from Rd Body

Street No. Issued 67

Structural Check OK

Plumbing and Drainage Requirements

Egress and Fire Rating

setting on PTH 4/6/70.

INITIALS	DATE
LBW	24/4/70
RLH	12/5/70
LBW	24/4/70
LBW	24/4/70
W.C.	16/5/70
gys	24/4/70

HAVING TO

BE INDICATED.

FEES PAYABLE—

Building Permit	\$ 14-00
Inspection Fee	\$
Plumbing and Drainage Permit	\$
Stormwater Drainage—Footpaths Opening Deposit	\$
Footpath Opening Permit	\$
Vehicular Entrance	\$
1/2" Water Connection Prepaid	\$
Builders Water Supply	\$ 1-50
Total Fees	\$ 15-50

8129

Approved R.J. Haines

(County Engineer)

12 1 5 19 70.

BUILDING CHECK SHEET

B3

Application No. 165

Plans rec'd:-

Date: 23/4/70

Init: RPH

Name: Downey, E.J.

Tele.No. 23 8529

BUS- 389119.

Required:

2

Site Plans - Distance from all boundaries and bldgs. - Street front indicated.

2

Working drawings - Fully detailed and dimensioned.

2

Elevations - Height, Windows.

2

Specifications - Spacing, type of materials etc.

2

Plumbing and Drainage forms completed - drainage layout - non-sewered area.

1

Water application form - signed by owner.

Letter of consent of adjoining owner - where required.

Garage accomodation shown - Site only for future - Plans etc. if part of this application

Dept.	Check List.	Remarks.	Init.	Date.
Surveyor	Legal description	✓		
	M.T.P.			
	Height of Bldgs.			
	Parking Requs.			
	Conditional Use etc.			
Health	Public Bldgs.			
	Food Shops.			
	Stormwater disposal.	✓		27.4.70
Building Inspector	(Zoning		Prelim. check	
	(Front Yard		✓	
	(Side "		✓	
	(Rear "		✓	
	(Accsy Bldgs.		✓	
	(Bldgs. adj. site		✓	
	(Garage attach-ment.		✓	
	(Coverage.		✓	
	Vehicle access	✓		
	" " corner setn.	✓		
	(Foundations	✓		
	(Concrete	✓		
	(Reinforcing	✓		
	Constn. Framing.	✓		
	(Roof	✓		
	(Veneer	No.		
	(Chimneys	No.		
	Room sizes	✓		
	Stud Height	✓		
	Light & Ventilation	✓		
Fire require-ments. Industrial Commercial Public Bldgs.	Type of Heating	To BE INSTALLED Electric		
	F.R.R. Residential			
	Type of Constn.			
	Fire zone.			
	Fire Rating reques.			
Dangerous Goods and By-Laws	Egress & Exit Signs			
	Fire fighting Equip.			
	Alarm System.			
	Emergency Lighting			
	Fire Stops.			
	Dangerous Goods			
	Signs			
	Projections over St. Traffic			

2nd. Check Siting

All Checks Completed

12/5/70

District Building Inspector to carry out Preliminary check only on siting.

H. W. SMITH LIMITED

SPECIFICATIONS FOR T. FRAME DWELLINGFOR E. J. DOWNEYAT TUCKERS RD NORTH COTEFOUNDATIONS

Foundations shall consist of approved concrete piles, set in 12" x 12" x 6" concrete pads on solid bearing. Piles shall be spaced at 4'6" centres maximum, in rows no more than 7'0" apart.

FRAMING

All timber must comply with N.Z.S.S. 1900 Chap.6, and all work carried out in accordance with best trade practice, and as detailed on drawings.

SCHEDULE OF TIMBER.

<u>Description</u>	<u>Size</u>	<u>Max. Spacing</u>	<u>Grade</u>
Sleepers	4 x 3	7' 0"	R.H.B.A.
Ground Floor Joists	5 x 2	18"	"
1st Floor Joists	6 x 2	18"	R.B.A.
Wall Plates	6 x 2, 4 x 3 & 4 x 2		"
Ribbon	6 x 2		"
Studs	6 x 2	3' 0"	"
Studs	4 x 2	18"	"
Opening Studs	4 x 3		"
Dwangs	4 x 2 & 2 x 2		"
Braces	4 x 1½ & 6 x 1		"
Rafters	Ex 8 x 2	3' 0"	"
Purlins	3 x 2	2' 6"	2
Beam	As Plan		Ex Mer. Oregon D4s.

GENERAL FRAMING

Sleepers shall be laid to a true and level surface, on approved damp-course and well tied to piles with No. 8 G. Galv. wire.

5 x 2 ground floor joists, and 6 x 2 1st floor joists shall be fixed at 18" centres. Pre-floor with 4 x 1 T & G. Rimu flooring, close cramped and double nailed. Any exposed surface shall be coated with a suitable weather proofing mixture.

Fix 6 x 1 Braces to 6 x 2 walls; and 4" walls shall have 4 x 1½ solid bracing.

Walls and ceilings shall be dwanged in accordance with local by-laws, and as detailed on drawings.

Purlins, nailed to 8 x 2 rafters and 6 x 2 wall studs, as detailed, shall be covered with galv. wire netting and building paper, under galv. corr. iron walls and roof.

End wall shall be sheathed with Ex 6 x 1 R.D.A. Treated bevel backed, rebated weatherboards, closely fitted to 3/16" oil-tempered hardboard soffits.

INTERIOR LINING.

Walls and ceilings shall be lined with 3/16" hardboard. 1/2" SOFT BOARD
& GIB. BOARD

...../2.

... 2 ...

H. W. SMITH LIMITED.

FINISHINGS

Door and window architraves and all skirting shall be ex 3 x 1 RDA.

All angles to walls and ceilings shall be finished with 3/4" Quad. Moulding.

JOINERY

All window and external door frames shall be R.H.D.A. grade or better, with cedar sashes and doors, and comply with N.Z.S.S. 496.

Jambs shall be ex 5 x 2, and sills ex 6 x 2, with 3 x 1½ facings. Supply ex 1.1/2" x 1/2" for scribes.

Supply open tread stair with R.D.A. strings and treads ex 10" x 1.1/2". Also ex 2" x 2" R.D.A. shaped handrail.

PLUMBING AND ELECTRICIAN

All work and materials shall strictly comply with all Local Body and Health authorities By-Laws and Regulations.

NEW ZEALAND POST OFFICE

This card is to be returned to—
(address of sender)



WAIMAIRI COUNTY COUNCIL

PRIVATE BAG,

CHRISTCHURCH

Mail—2A

(100,000/5/69—62185-Y18.)

Mail—2A

A.R.

File

ADVICE OF DELIVERY
(INLAND ARTICLES ONLY)

Registered article No. *1554*

Posted at CHRISTCHURCH

on 13th March 1970

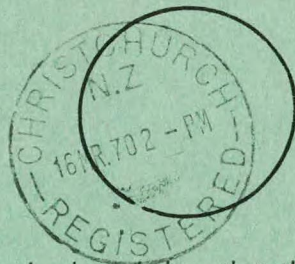
addressed to Heathfield Investments
Ltd. P.O. Box 118,
Christchurch.

Sender: WAIMAIRI COUNTY COUNCIL

PRIVATE BAG,

CHRISTCHURCH

RJH P/T1/67 *OK*



The undersigned acknowledges that the
article mentioned hereon was duly
received on _____ 19____

S. Mat
Signature of addressee or agent.

S. Hewitt
Signature of delivery officer.

Receipt No. *021054*

WCC 165 4/24/95

29-4-70.

E. J Dawney
Lot 1 Tuckers Rd. Df 27016
no 69.

Erect dwelling

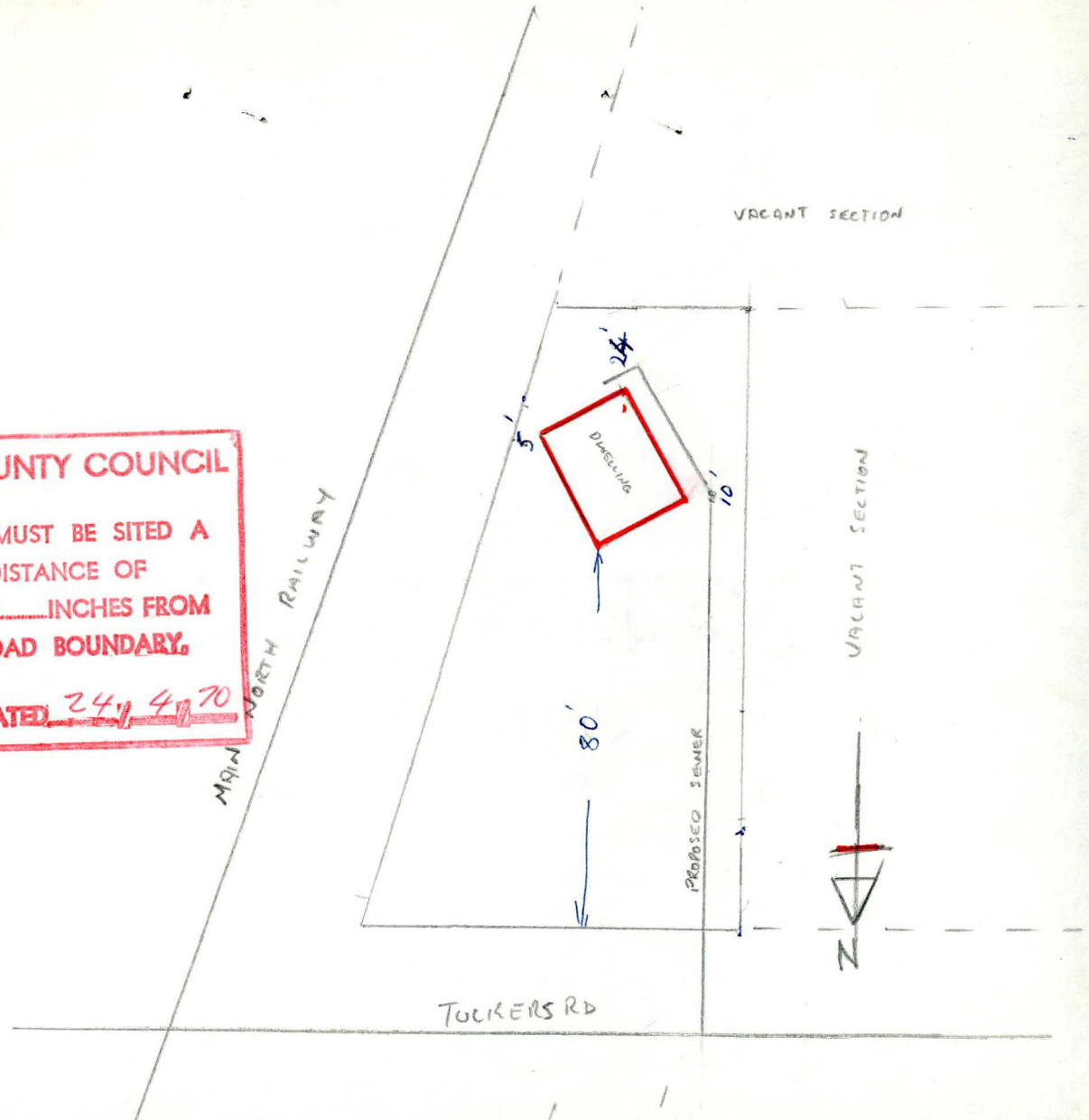
sewer available

CHRISTCHURCH	
BLOCK PLAN	P129
SECT. LEV.	
GENERAL	yes
DRAINAGE BOARD	

WAIMAIRI COUNTY COUNCIL

THIS BUILDING MUST BE SITED A
MINIMUM DISTANCE OF
15 FT. 0 INCHES FROM
THE PRESENT ROAD BOUNDARY.

DATED 24/4/70



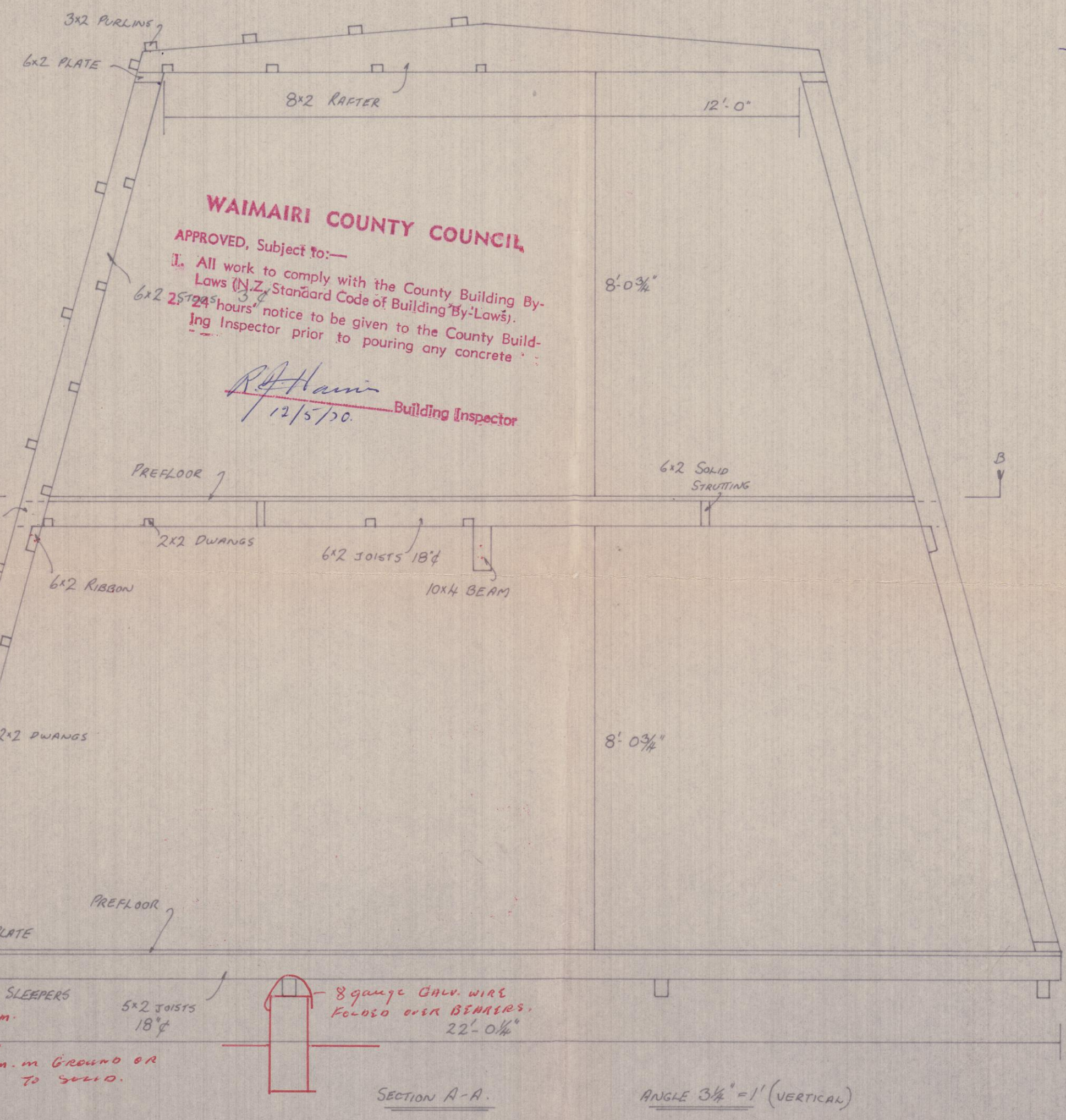
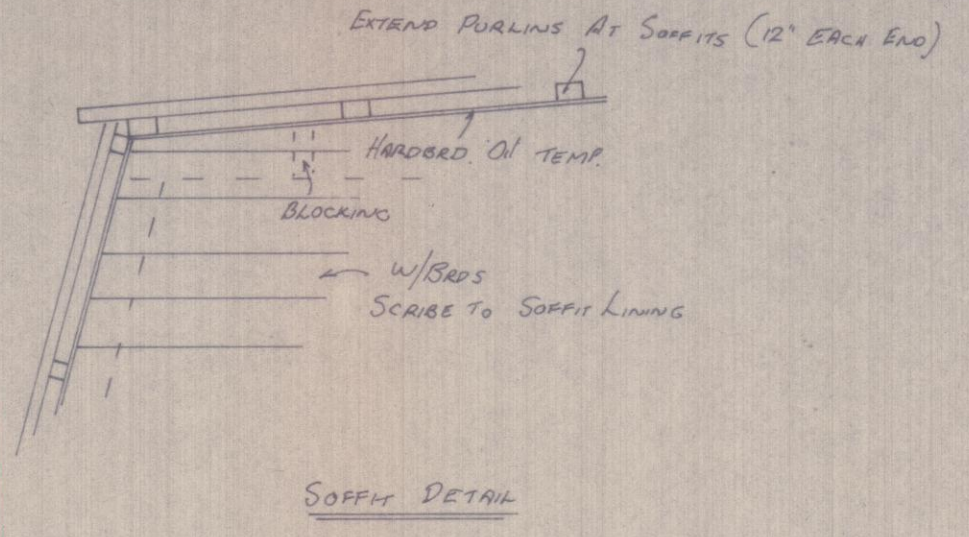
NOTE: COUNCIL MUST BE GIVEN 24 HOURS NOTICE PRIOR TO POURING FOUNDATIONS

Hand rail 3" min. No opening to exceed 1 1/4" x 1 1/4" SEE N.Z. S. 1900 CHAPTER 5 Clause 5-43.7 To be absolutely fixed.

UNDERGROUND ELECTRICITY SUPPLY Provision to be made by installing a 2" pipe from bottom of meter box to 2" below bottom of foundation.

CHIMNEYS All chimneys to have 4-1/2" vertical reinforcing rods and flue liners.

TO ALL ARCHITECTS, BUILDERS AND APPLICANTS FOR BUILDING PERMITS The Drainage and Plumbing Regulations, 1959, do not permit building over any drainage or sewerage system or constructing drains under buildings without special permission. As the consequences of contravening these Regulations are usually most expensive all persons contemplating building any structures or any additions should, before commencing, discuss their proposals with the Christchurch Drainage Board to ensure that this trouble does not occur. Such action taken prior to building could save unnecessary expense.



WAIMAIRI COUNTY COUNCIL
APPROVED, Subject to:-
1. All work to comply with the County Building By-Laws (N.Z. Standard Code of Building By-Laws).
2. 24 hours notice to be given to the County Building Inspector prior to pouring any concrete.
R. J. Hain
12/5/70 Building Inspector

VENTILATION REQUIRED. 4x1 Base Board SET BLUE DETAIL ATTACHED.

Stairways to comply with N.Z. 1900 CHAPTER 5 Clause 5-43.7.

3"-6" Foundation Returns on all external angles 2 1/2" Reos x 1/4" stirrups @ 12" o.c. 5" wide foundation wall.

